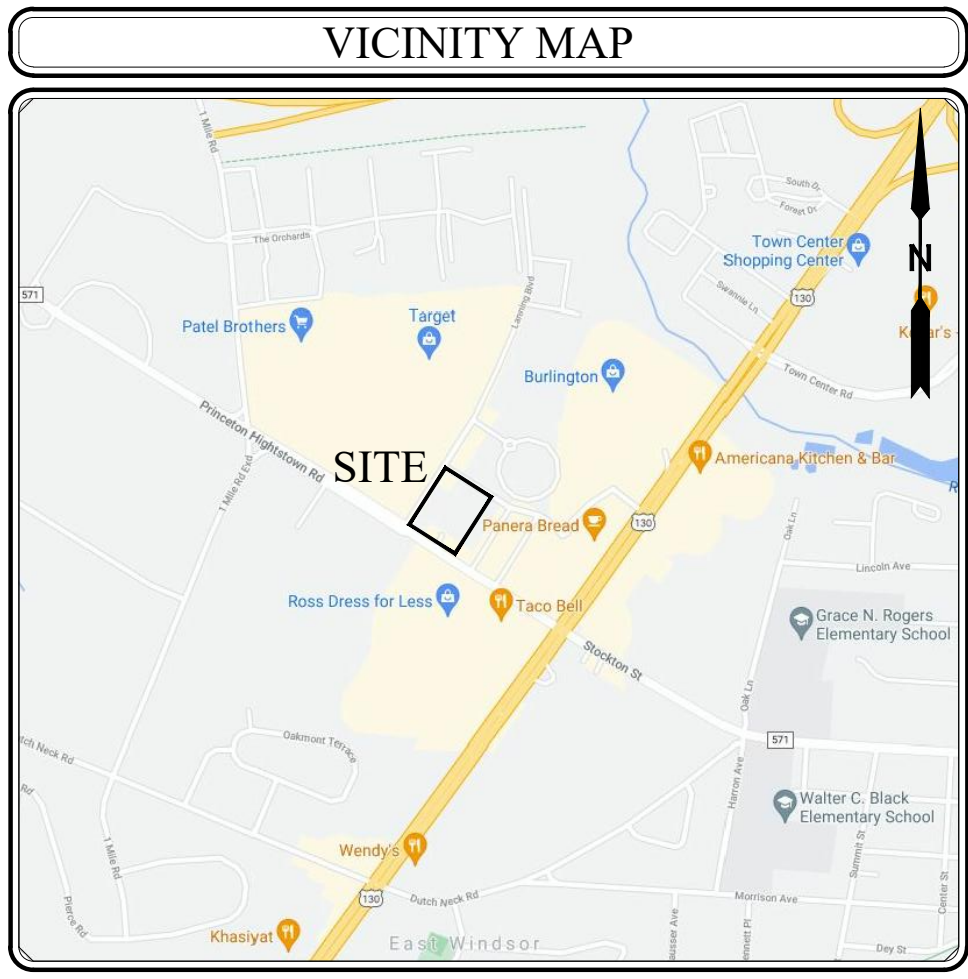
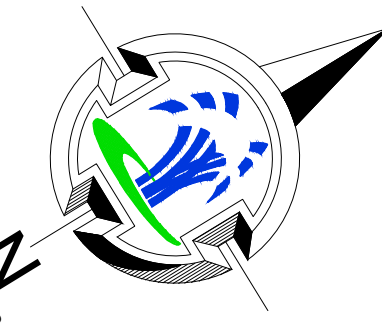


FLOOD NOTE:
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X (BASIS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 34021C0168F, WHICH BEARS AN EFFECTIVE DATE OF JULY 20, 2016.
 BEFORE THE PREPARATION OF DESIGN PLANS PLEASE VISIT FEMALOGY TO CONFIRM THE INFORMATION LISTED ABOVE.

LANNING BOULEVARD

(70' WIDE R.O.W./PUBLIC ROADWAY)
 (ASPHALT ROADWAY)
 TWO WAY TRAFFIC



NOT TO SCALE

NOTES

- PROPERTY KNOWN AS PART OF LOT 14.02, BLOCK 6.07 AS IDENTIFIED ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, STATE OF NEW JERSEY.
- AREA = 129,152 S.F. OR 2.965 AC.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK CUTES ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGUN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.
- ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS/CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
- CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
- THERE WERE NO NATURAL STREAMS OR WATERCOURSES VISIBLE AT THE TIME OF THE FIELD SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

REFERENCES

- TAX MAP SHEET #9 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, STATE OF NEW JERSEY.
- MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, MERCER COUNTY, NEW JERSEY (ALL JURISDICTIONS)", PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 168 OF 276, MAP NUMBER 34021C0168F, EFFECTIVE DATE: JULY 20, 2016.

TITLE REPORT EXCEPTIONS

THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-1041419-MCH, WITH AN EFFECTIVE DATE OF **NOVEMBER 30, 2020**, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION 1:

- CONSERVATION AND MAINTENANCE EASEMENT AS CONTAINED IN DEED BOOK 3134 PAGE 144 - BLANKET IN NATURE - NO PLOTTABLE EASEMENTS.
- RIGHTS GRANTED TO JERSEY CENTRAL POWER & LIGHT CO. d/b/a GPU ENERGY AND BELL ATLANTIC OF NEW JERSEY, INC. AS SET FORTH IN DEED BOOK 3301 PAGE 274 - BLANKET IN NATURE - NO PLOTTABLE EASEMENTS.
- TERMS AND CONDITIONS OF LEASE TO NEW JERSEY RESTAURANTS, L.P., A NEW JERSEY LIMITED PARTNERSHIP AS EVIDENCED BY MEMORANDUM THEREOF RECORDED IN DEED BOOK 3361 PAGE 96 - BLANKET IN NATURE - CAN NOT PLOT/SHOW ADJACENT LEASED PREMISES WITH DOCUMENT PROVIDED.

TITLE METES & BOUND DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE TOWNSHIP OF EAST WINDSOR COUNTY OF MERCER, STATE OF NEW JERSEY, AND IS DESCRIBED AS FOLLOWS:

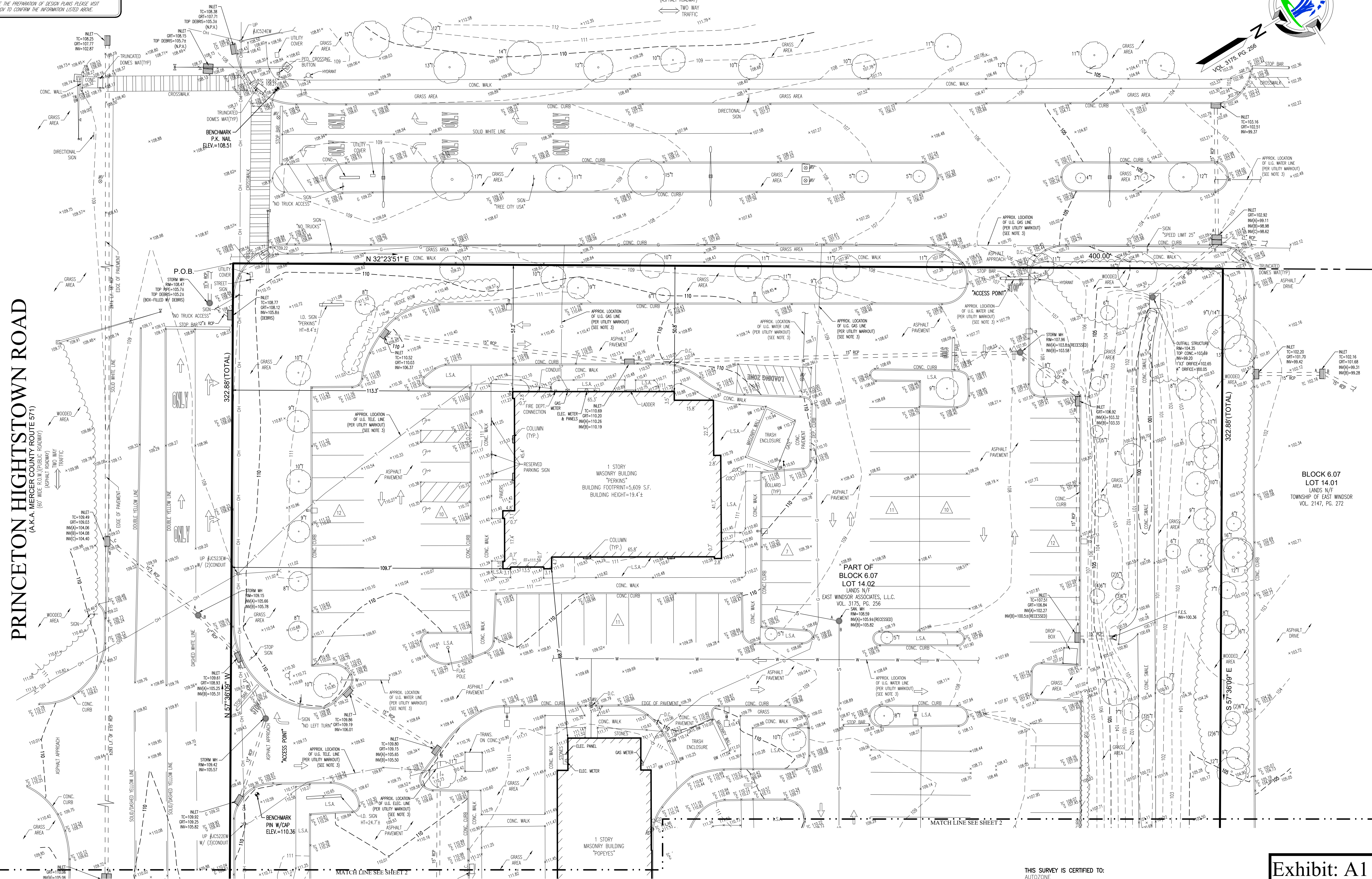
BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF PRINCETON HIGHTSTOWN ROAD (MERCER COUNTY ROUTE, NO. 571) (60.00 FEET WIDE) WITH THE SOUTHEASTERLY LINE OF LANNING BOULEVARD (70.00 FEET WIDE) AND RUNNING FROM SAID BEGINNING POINT

- NORTH 32 DEGREES 23 MINUTES 51 SECONDS EAST ALONG THE AFORESAID SOUTHEASTERLY LINE OF LANNING BOULEVARD, 400.00 FEET TO THE SOUTHWESTERLY LINE OF LOT 14.01;
- SOUTH 57 DEGREES 36 MINUTES 09 SECONDS EAST ALONG SAID SOUTHWESTERLY LINE OF LOT 14.01 IN PART 322.88 FEET TO THE NORTHWESTERLY LINE OF LOT 18; THENCE
- SOUTH 32 DEGREES 23 MINUTES 51 SECONDS WEST ALONG SAID NORTHWESTERLY LINE OF LOT 18, 400.00 FEET TO THE AFORESAID NORTHEASTERLY LINE OF PRINCETON HIGHTSTOWN ROAD; THENCE
- NORTH 57 DEGREES 36 MINUTES 09 SECONDS WEST ALONG SAID NORTHEASTERLY LINE OF PRINCETON HIGHTSTOWN ROAD, 322.88 FEET TO THE POINT OF BEGINNING.

NOTE FOR INFORMATION ONLY: BEING LOT(S) 14.02 XLOT KFC, BLOCK 6.07, TAX MAP OF THE TOWNSHIP OF EAST WINDSOR, COUNTY OF MERCER, STATE OF NEW JERSEY.

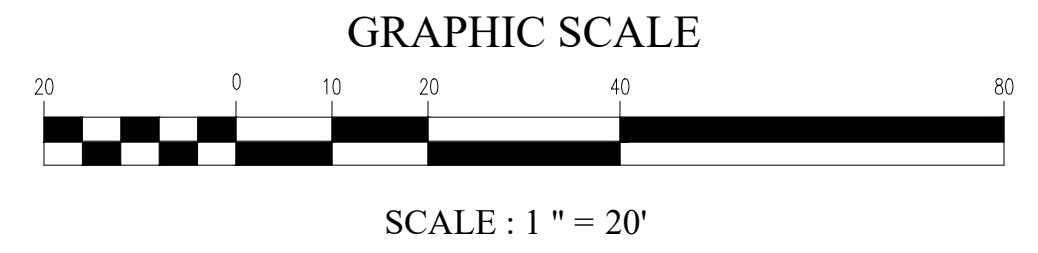
PRINCETON HIGHTSTOWN ROAD

(A.K.A. MERCER COUNTY ROUTE 571)
 (70' WIDE ROAD/THRU ROADWAY)
 TWO WAY TRAFFIC



LEGEND OF SYMBOLS & ABBREVIATIONS

--- 110 ---	CONTOUR (MAJOR/MINOR)	--- CHAIN LINK FENCE	● BOLLARD
× 111.00	SPOT ELEVATION	--- WOOD FENCE	○ SIGN
× 112.00	TOP OF CURB ELEVATION	--- EDGE OF WOODS	○ TRAFFIC SIGNAL
× 113.00	GUTTER ELEVATION	--- OVERHEAD WIRES	○ PAINTED ARROWS
× 114.00	TOP OF WALL ELEVATION	--- APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINE	○ PARKING COUNTER
× 115.00	BOTTOM OF WALL ELEVATION	--- APPROXIMATE LOCATION OF UNDERGROUND WATER LINE	○ HANDCAP
× 116.00	FINISH FLOOR ELEVATION	--- APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE	○ AREA LIGHT
○	TREE W/TRUNK DIAMETER	--- APPROXIMATE LOCATION OF UNDERGROUND GAS LINE	○ STREET LIGHT
○	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE	--- APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE	○ INLET
○	TITLE REPORT EXCEPTION	--- APPROXIMATE LOCATION OF UNDERGROUND STORM SEWER LINE	○ MANHOLE
○			○ CLEAN OUT
○			○ GAS METER
○			○ ELECTRIC METER
○			○ HYDRANT
○			○ WATER VALVE
○			○ GAS VALVE
○			○ UTILITY POLE



THIS SURVEY IS CERTIFIED TO:
 AUTOZONE
 EAST WINDSOR ASSOCIATES, L.L.C.
 FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 26, 2021.

JOSEPH J. WRIGHT
 NEW JERSEY PROFESSIONAL LAND SURVEYOR #05-348850
 CERTIFICATE OF AUTHORIZATION #240303488500

DATE	7-29-2021
SCALE	1" = 20'
FIELD BK. NO.	21-02
PROJECT NO.	21-B-266
DRAWN BY:	S.N.W./S.C.H.
REVIEWED BY:	T.D.M./J.J.W.
REV-1:	11-10-2021 REVISED PER UPDATED BOUNDARY
REV-2:	12-1-2021 REVISED PER ADDITIONAL TOPOGRAPHY/LOCATIONS
REV-3:	6-9-2022 REVISED TO ADD BENCHMARKS
REV-4:	
REV-5:	

ALTA/NSPS LAND TITLE SURVEY

AutoZone
 #40-50 PRINCETON - HIGHTSTOWN ROAD
 PART OF LOT 14.02, BLOCK 6.07
 TOWNSHIP OF EAST WINDSOR, MERCER COUNTY
 STATE OF NEW JERSEY

BLUE MARSH ASSOCIATES, INC
 LAND SURVEYORS & PLANNERS

551 EASTON ROAD, SUITE A
 WARRINGTON, PA 15076-2370
 215-272-4053 (MAIN)
 215-343-0216 (FAX)

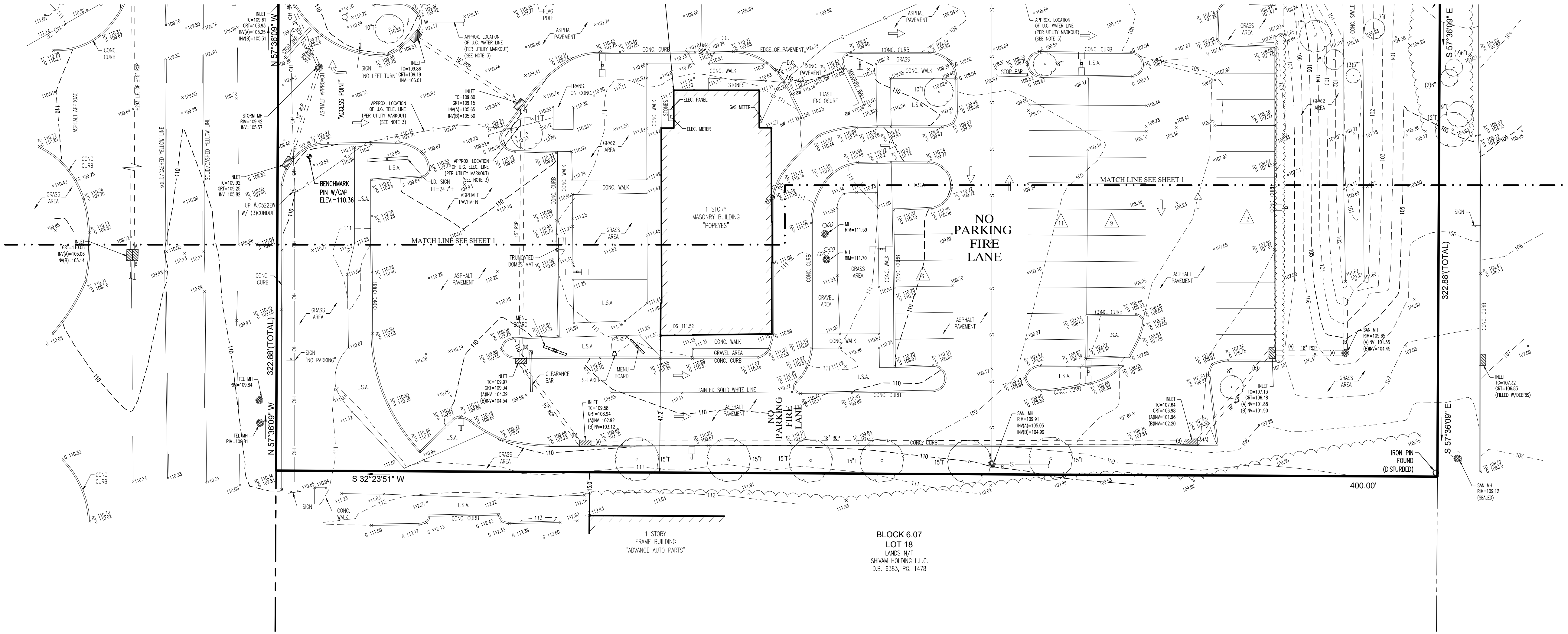
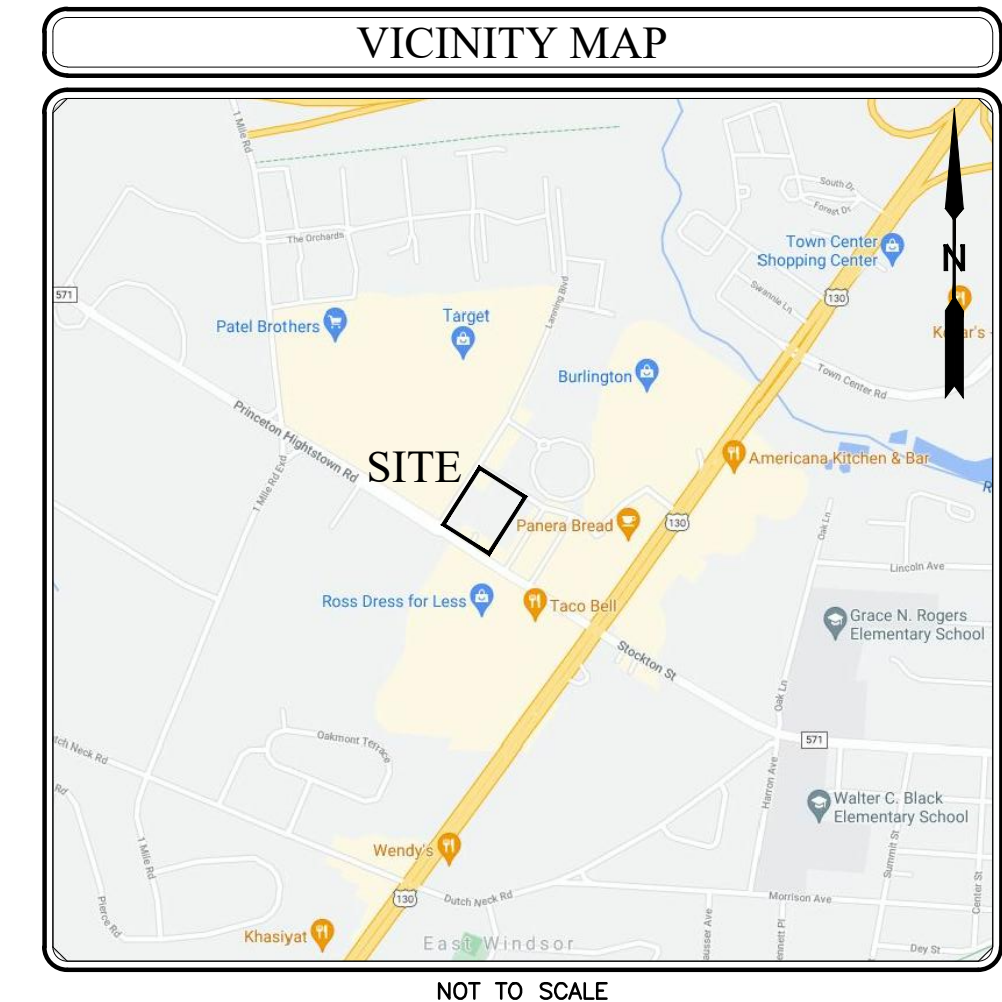
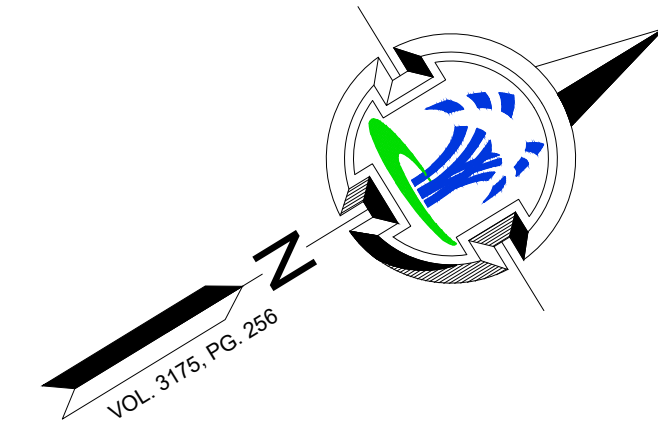
1541 ROUTE 37 EAST, SUITE B
 TOMS RIVER, NJ 08753
 732-552-3641 (MAIN)
 732-929-8915 (FAX)

www.BlueMarshAssociates.com



TICKET #211890906

FLOOD NOTE:
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE X (BASIS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 34021C0108F, WHICH BEARS AN EFFECTIVE DATE OF JULY 26, 2018.
 BEFORE THE PREPARATION OF DESIGN PLANS PLEASE VISIT FEMA/NOAA TO CONFIRM THE INFORMATION LISTED ABOVE.

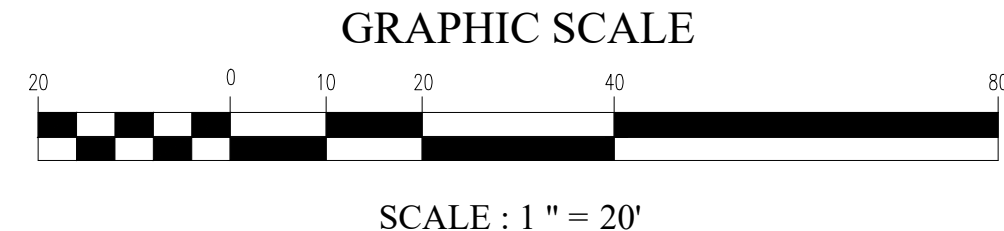


**BLOCK 6.07
 LOT 18
 LANDS N/F
 SHAW HOLDING L.L.C.
 D.B. 6383, PG. 1478**

LEGEND OF SYMBOLS & ABBREVIATIONS

<ul style="list-style-type: none"> --- 10 --- CONTOUR (MAJOR/MINOR) • 117.50 SPOT ELEVATION × 117.50 TOP OF CURB ELEVATION ○ 117.50 GUTTER ELEVATION ○ 117.50 TOP OF WALL ELEVATION ○ 117.50 BOTTOM OF WALL ELEVATION ○ 117.50 FINISH FLOOR ELEVATION ○ 117.50 TREE W/TRUNK DIAMETER ○ 10' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE ○ 10' TITLE REPORT EXCEPTION 	<ul style="list-style-type: none"> --- CHAIN LINK FENCE --- WOOD FENCE --- OH --- EDGE OF WOODS --- OH --- OVERHEAD WIRES --- T --- APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINE --- W --- APPROXIMATE LOCATION OF UNDERGROUND WATER LINE --- E --- APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE --- G --- APPROXIMATE LOCATION OF UNDERGROUND GAS LINE --- S --- APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE --- --- APPROXIMATE LOCATION OF UNDERGROUND STORM SEWER LINE 	<ul style="list-style-type: none"> • BOLLARD ○ SIGN ○ TRAFFIC SIGNAL ○ PAINTED ARROWS ○ PARKING COUNT ○ HANDICAP ○ AREA LIGHT ○ STREET LIGHT ○ INLET ○ MANHOLE ○ CLEAN OUT ○ GAS METER ○ ELECTRIC METER ○ HYDRANT ○ WATER VALVE ○ GAS VALVE ○ UTILITY POLE
---	---	---

PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE.
 WHAT YOU DON'T KNOW CAN HURT YOU!
 THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.
TICKET #211890906



THIS SURVEY IS CERTIFIED TO:
 AUTOZONE
 EAST WINDSOR ASSOCIATES, L.L.C.
 FIRST AMERICAN TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(b), 7(b)(1), 7(c), 8, 9, 11(b), & 13, 16, 17, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 26, 2021.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SEAL

JOSEPH J. WRIGHT DATE _____
 NEW JERSEY PROFESSIONAL LAND SURVEYOR #05-3488500
 CERTIFICATE OF AUTHORIZATION #240303488500

DATE	7-29-2021
SCALE	1" = 20'
FIELD BK. NO.	21-02
PROJECT NO.	21-B-266
DRAWN BY	S.N.W./S.C.H.
REVIEWED BY	T.D.M./J.J.W.
REV-1	11-10-2021 REVISED PER UPDATED BOUNDARY
REV-2	12-1-2021 REVISED PER ADDITIONAL TOPOGRAPHY/LOCATIONS
REV-3	6-9-2022 REVISED TO ADD BENCHMARKS
REV-4	
REV-5	

ALTA/NSPS LAND TITLE SURVEY

AutoZone
 #40-50 PRINCETON - HIGHTSTOWN ROAD
 PART OF LOT 14.02, BLOCK 6.07
 TOWNSHIP OF EAST WINDSOR, MERCER COUNTY
 STATE OF NEW JERSEY

BLUE MARSH ASSOCIATES, INC
 LAND SURVEYORS & PLANNERS

551 EASTON ROAD, SUITE A WINDSOR, PA 19376-2370 215-278-4053 (MAIN) 215-343-0218 (FAX)

1541 ROUTE 37 EAST, SUITE B TOMS RIVER, NJ 08753 732-552-3641 (MAIN) 732-929-8915 (FAX)

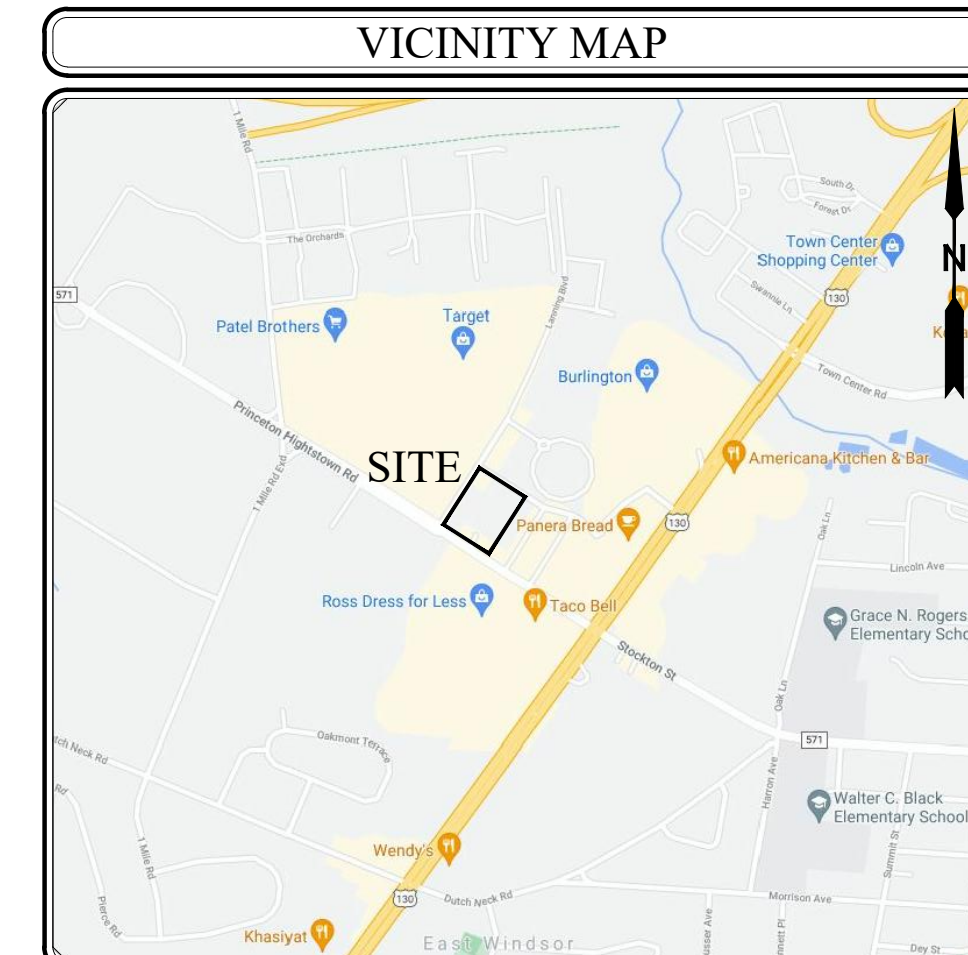
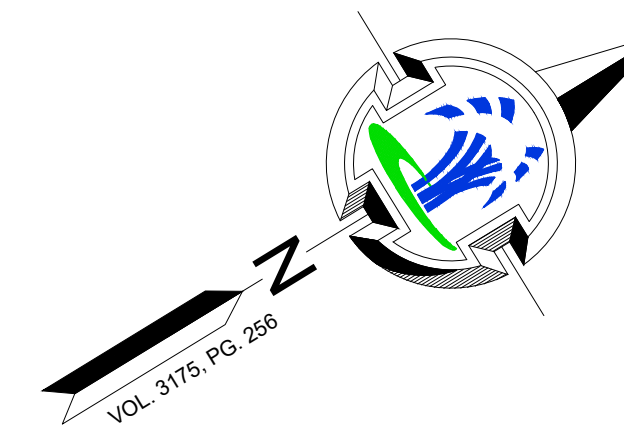
www.BlueMarshAssociates.com

SHEET: 2 OF 3

LANNING BOULEVARD

(70' WIDE R.O.W.) (PUBLIC ROADWAY)

TWO WAY TRAFFIC

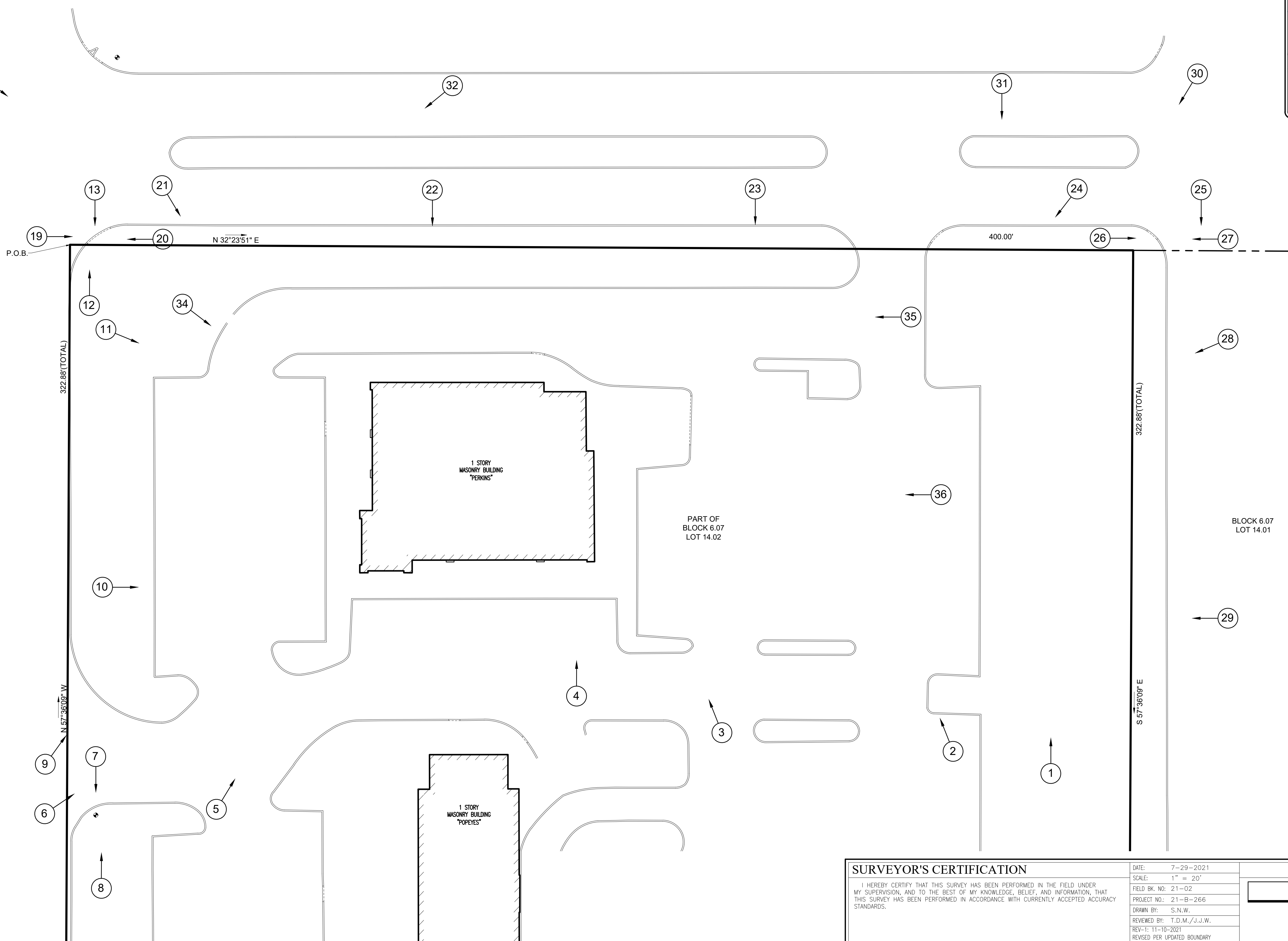


NOT TO SCALE

PRINCETON HIGHTSTOWN ROAD

(A.K.A. MERCER COUNTY ROUTE 571)
(60' WIDE R.O.W.) (PUBLIC ROADWAY)

TWO WAY TRAFFIC



LEGEND OF SYMBOLS & ABBREVIATIONS

10 PHOTO NUMBER



SCALE : 1" = 20'

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT VALID UNLESS SEALED WITH AN EMBOSSED SEAL

JOSEPH J. WRIGHT

NEW JERSEY PROFESSIONAL LAND SURVEYOR #05-3488500
CERTIFICATE OF AUTHORIZATION #240303488500

DATE

DATE: 7-29-2021

SCALE: 1" = 20'

FIELD BK. NO.: 21-02

PROJECT NO.: 21-B-266

DRAWN BY: S.N.W.

REVIEWED BY: T.D.M./J.J.W.

REV-1: 11-10-2021

REVISED PER UPDATED BOUNDARY

REV-2: 12-1-2021

REVISED PER ADDITIONAL TOPOGRAPHY/LOCATIONS

REV-3: 6-9-2022

REVISED TO ADD BENCHMARKS

REV-4:

REV-5:

PHOTO EXHIBIT



#40-50 PRINCETON - HIGHTSTOWN ROAD
PART OF LOT 14.02, BLOCK 6.07
TOWNSHIP OF EAST WINDSOR, MERCER COUNTY
STATE OF NEW JERSEY

BLUE MARSH ASSOCIATES, INC

LAND SURVEYORS & PLANNERS

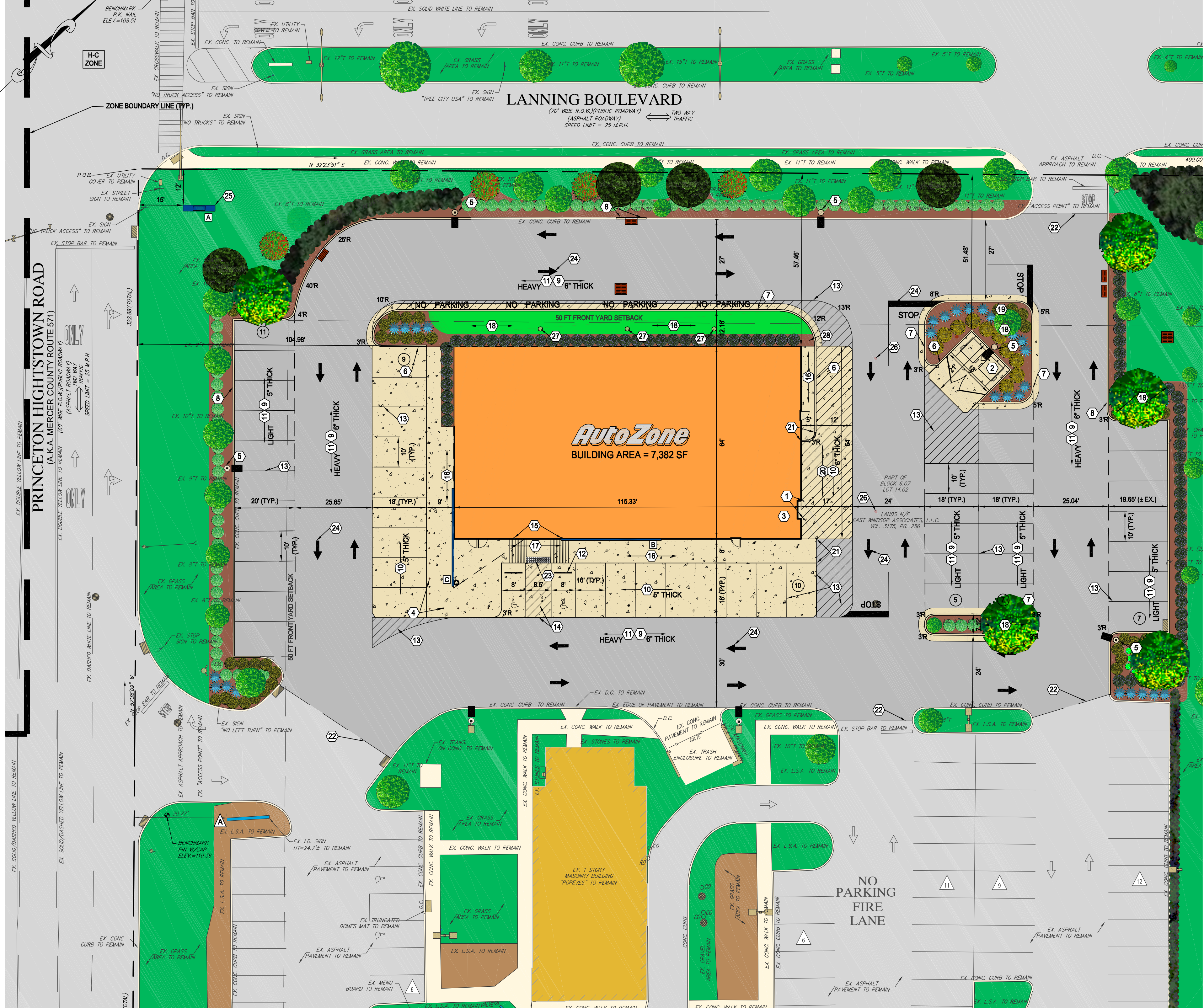


551 EASTON ROAD, SUITE A
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TOMPKINS, NJ 08753
732-552-3641 (MAIN)
732-929-8915 (FAX)

www.BlueMarshAssociates.com

SHEET: 3 OF 3



SITE PLAN NOTES:

- SUBJECT PROPERTY IS LOCATED AT 40-50 PRINCETON-HIGHTSTOWN ROAD IN THE TOWNSHIP OF EAST WINDSOR, AND IS KNOWN AS BLOCK 6.07, LOT 14.02 AS SHOWN ON THE OFFICIAL TAX MAP OF EAST WINDSOR. THE PARCEL IS 128,152 SF (2.965 AC) IN SIZE.
- PROPERTY OWNER: ROBERT J NASUT
C/O SUMMERWOOD CORP.
14 BALL GOSWING ROAD, P.O. BOX 429
CONSHOHOCKEN, PA 19428
- APPLICANT: AUTOZONE NORTHEAST, LLC
C/O DAVID BENTLEY
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TN 38103
- ZONING INFORMATION:
 - PROPERTY IS LOCATED IN THE H-C ZONE (HIGHWAY COMMERCIAL).
 - RETAIL SERVICES ARE A PERMITTED USE
- LOADING REQUIREMENTS (SECTION 19A-2(A))
 - MIN. RESTAURANT: ONE (1) SPACE PER USES BETWEEN 2,000-10,000 SF
 - RETAIL: ONE (1) SPACE PER USES BETWEEN 2,000-10,000 SF
- THESE PLANS HAVE BEEN DESIGNED BASED ON AN ALTA SURVEY AND TITLE SURVEY PREPARED BY BLUE MARSH ASSOCIATES, INC. DATED 7/29/2021, LAST REVISED 8/9/2022. SURVEY IS CONSIDERED PART OF THE DESIGN DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND REVIEWING ALL RELEVANT TECHNICAL/DESIGN DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING PRIOR TO CONSTRUCTION:
 - GEOTECHNICAL REPORT PREPARED BY DELTA OAKS GROUP, DATED 7/22/2021.
 - ARCHITECTURAL PLANS PREPARED BY AUTOZONE, INC. DATED 05/02/22.
- ONLY SIGNED AND SEALED COPIES OF THE DESIGN DRAWINGS SHOULD BE UTILIZED FOR CONSTRUCTION PURPOSES. NORTH STAR DESIGN, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS DUE TO THE CONTRACTOR CONSTRUCTING WITH INCORRECT PLANS. CONTRACTOR SHALL VERIFY THEY ARE WORKING OFF OF THE LATEST DESIGN DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
- UNLESS SPECIFICALLY IDENTIFIED OTHERWISE, IN THE EVENT OF CONFLICTING INFORMATION BETWEEN THESE PLANS AND THE GEOTECHNICAL REPORT, THE GEOTECHNICAL REPORT WILL GOVERN. CONTRACTOR SHOULD IMMEDIATELY ADVISE DESIGN ENGINEER IN WRITING OF CONFLICT.
- CONTRACTOR IS RESPONSIBLE TO HAVE ALL APPLICABLE PERMITS ON SITE DURING CONSTRUCTION. CONTRACTOR SHALL REVIEW ALL APPLICABLE PERMITS AND SHALL BE FAMILIAR WITH ALL ASSOCIATED COMMENTS/CONDITIONS PRIOR TO CONSTRUCTION.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE IDENTIFIED ON THESE PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND THE LATEST OSHA STANDARDS AND REQUIREMENTS AT ALL TIMES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETERMINING THE MEANS AND METHODS TO CONSTRUCT THE PROPOSED IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION.
- ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO COMPLY WITH THE VARIOUS AGENCIES THAT HAVE JURISDICTION (I.E. THE "AMERICANS WITH DISABILITIES ACT (ADA)" AND THE "UNIFORM FEDERAL REGULATIONS OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED), THE MOST STRINGENT REGULATION GOVERNS.
- NORTH STAR DESIGN, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE OWNER OR GENERAL CONTRACTOR IS RESPONSIBLE TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY IN ACCORDANCE WITH N.J.A.C. 52:2-2.21(B) OF THE UNIFORM CONSTRUCTION CODE. NORTH STAR DESIGN, LLC AND/OR ITS SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONTRACTOR IN CONNECTION WITH THEIR WORK AND/OR SAFETY PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY.
- CONTRACTOR RESPONSIBLE TO MAINTAIN A SECURE SITE DURING CONSTRUCTION.
- EXISTING CONDITIONS MAY HAVE CHANGED DURING THE APPROVAL PROCESS. CONTRACTOR TO VERIFY ALL EXISTING FEATURES PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE IMMEDIATELY PROVIDED TO DESIGN ENGINEER IN WRITING. NO ADDITIONAL COMPENSATION WILL BE PAID TO CONTRACTOR AS A RESULT OF ANY DISCREPANCY WITHOUT OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER. ANY DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL IS AT THE CONTRACTORS OWN RISK AND NORTH STAR DESIGN, LLC SHALL BE INDEMNIFIED BY CONTRACTOR FROM RESULTING COSTS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING SITE FEATURES ON THE ADJACENT PROPERTIES ARE NOT NEGATIVELY IMPACTED DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ANY DAMAGED FEATURES TO A CONDITION EQUAL OR BETTER THAN THAT WHICH WAS PRESENT PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL CONSTRUCTION DEBRIS FROM SITE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS. NO CONSTRUCTION DEBRIS IS PERMITTED TO BE BURIED ON SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL MEASURES.
- ALL TRAFFIC CONTROL, SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION AS ISSUED BY THE U.S. FEDERAL HIGHWAY ADMINISTRATION.
- THE CONTRACTOR SHALL CONTACT THE NEW JERSEY STATE UTILITY ONE CALL SYSTEM PRIOR TO START OF CONSTRUCTION AND IS RESPONSIBLE TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- THE PROPOSED IMPROVED COVERAGE IS APPROXIMATELY 82,628 SF WHICH IS LESS THAN THE 82,870 SF UNDER EXISTING CONDITIONS
- THE SUBJECT SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD PLAIN PER FEMA MAP 34020K168F DATED JULY 20, 2016

KEYNOTES

- Pipe Guard - see detail 15/C1.6
- Dumpster layout - see details 6,9,10 & 11/C1.6
- Service Door Plan - see detail 14/C1.6
- Ballard Plan - see detail 13/C1.6
- Concrete light pole base - See Details 12/C1.6. All light fixtures in direction as indicated.
- Curbs & gutter @ asphalt paving - see detail 1/C1.6
- Curbs & gutter @ asphalt paving - see detail 2/C1.6
- Concrete vertical curb - see detail 20/C1.6
- G.C. to provide alternate bid for concrete paving, where noted
- Concrete paving - see det. 4/C1.6 Expansion and Control joints - see det. 22 & 23/C1.6. Maximum spacing for control joints is 15' O.C. each way.
- Asphalt paving - see det. 3/C1.6.
- 8'-0" long concrete wheel stop pinned to pavement (typical). Locate 3'-0" from face of curb or sidewalk. See detail 16/C1.6
- 4" wide parking stripe painted white (typ.)
- 4" wide diagonal stripes painted blue at 2 ft. O.C.
- Handicap parking sign - see detail 19/C1.6 G.C. to provide (1) Van Accessible signs.
- Concrete sidewalk - see detail 5 & 27/C1.6 for sidewalks around building
- Accessible Ramp - See detail 18/C1.6 - Max. slope 1:12 (8.33%), Max. cross slope 1:50 (2.00%) Truncated dome to be a contrasting color.
- New landscaping area - Provide 3" topsoil & sod. See sheet L1.0 for additional information
- Stop Sign - See Detail 5, sheet C1.7
- Loading Area: slope at max. 2-1/2% away from building.
- Contractor to retain curbing yellow within area indicated
- Remove and restore existing asphalt for installation of site features
- Truncated Dome - See detail 3, sheet C1.7
- Stop Bar and Pavement Markings - See detail 1 sheet C1.7
- Freestanding Sign
- Sanitary Sewer Cleanout - See Detail 3, sheet C1.8
- Storm Sewer Cleanout - See Detail 4, sheet C1.8
- Freezeless Yard Hydrant

GENERAL NOTES

- Proof roll building and all parking areas. Notify the Architect of any unacceptable areas.
- Edge of new pavement to be flush with existing pavement.
- All sidewalk curbs and gutter street paving, curb cuts, driveway approaches, handicap ramp, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or state specifications and requirements.
- For areas outside the property lines, repair and/or replace all damage done to existing elements (sidewalks, paving, landscaping, etc.) as required by owner and/or governing authority.
- For proposed utility locations, see the utility plan.

PARKING SPACE SUMMARY

AUTOZONE:	49 SPACES
POPEYES:	53 SPACES
TOTAL:	102 SPACES

SIGNAGE TABLE:

PERMITTED:	EXISTING:	PROPOSED:
<p>WALL SIGNAGE: SECTION 20-5.16.7(a)</p> <ol style="list-style-type: none">SUCH SIGNS SHALL NOT PROJECT MORE THAN 18 INCHES FROM THE BUILDING FACADE TO WHICH IT IS ATTACHED, PROVIDED WHEN A SIGN EXTENDS MORE THAN THREE INCHES FROM THE FACE OF THE WALL THE BOTTOM OF THE SIGN SHALL NOT BE CLOSER THAN NINE FEET FROM THE GROUND LEVEL AT THE SIGN.THE TOTAL DISPLAY AREA OF ALL FACADE SIGNS ON ANY FACADE OF ANY BUILDING PERMITTED PURSUANT TO PARAGRAPH A3 HEREOF SHALL NOT EXCEED 10% OF THE AREA INCLUDING WINDOWS AND DOORS OF THE FACADE OF THE BUILDING TO WHICH THE SIGN IS ATTACHED.<ul style="list-style-type: none">- PROP. AUTOZONE - SOUTH FACADE - (64' X 21' = 1,344 SF X 0.10 = 134.4 SF)- EAST FACADE - (115.33' X 21' = 2,421.93 SF X 0.10 = 242.19 SF)- MAX PERMITTED IS LESSER OF TWO FACADES WITH SIGNAGE = 134.4 SF PERMITTED (PER FACADE WITH SIGN)ONE FACADE SIGN IS PERMITTED FOR EACH OCCUPANCY WITHIN A DEVELOPED PARCEL. HOWEVER, IF SUCH BUILDING IS NOT PART OF A SHOPPING CENTER AND IS SITUATED ON A CORNER PROPERTY OR OTHERWISE AS FRONTAGE ON MORE THAN ONE STREET, ONE ADDITIONAL FACADE SIGN FOR EACH OCCUPANCY WILL BE PERMITTED ON THE ABUTTING WALL, PROVIDED THAT EACH FACADE SIGN IS NO LARGER THAN THE SIZE OF THE SIGN PERMITTED ON THE SMALLER OF THE TWO BUILDING WALLS, AND PROVIDED FURTHER THAT NO ILLUMINATED SIGN SHALL BE ERRECTED FACING A RESIDENTIAL ZONE AND THAT NO SIGN SHALL EXTEND BEYOND THE FACADE OF A BUILDING OR EXTEND HIGHER THAN THE HIGHEST ELEVATION OF THE FACADE TO WHICH IT IS ATTACHED. IN THE DETERMINATION OF ALLOWABLE FACADE SIGNS FOR INDIVIDUAL OCCUPANTS, ONE FACADE SIGN SHALL BE PERMITTED FOR EACH FACADE OF A BUILDING WHICH HAS A PUBLIC ENTRANCE, BUT IN ANY EVENT NO FACADE OF A BUILDING WILL BE PERMITTED TO HAVE MORE THAN ONE FACADE SIGN FOR EACH OCCUPANCY.<ul style="list-style-type: none">- NUMBER OF FACADE SIGNS PERMITTED: 3 <p>FREESTANDING SIGNAGE: SECTION 20-5.16(b)</p> <ol style="list-style-type: none">THE TOTAL PERMITTED AREA OF A FREESTANDING SIGN SHALL NOT EXCEED ONE SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF STREET FRONTAGE ABUTTING THE DEVELOPED PORTION OF SAID PARCEL PROVIDED THAT NO SIGN SHALL EXCEED 150 SQUARE FEET.<ul style="list-style-type: none">- PRINCETON-HIGHTSTOWN ROAD FRONTAGE = 322.88 LF = PERMITTED SIGN AREA = 150 SF- LANNING BOULEVARD FRONTAGE = 400.00 LF = PERMITTED SIGN AREA = 150 SFTHE MAXIMUM HEIGHT PERMITTED FOR FREESTANDING SIGNS IS 25 FEET. NO PORTION OF ANY FREESTANDING SIGN SHALL BE PLACED CLOSER THAN 12 FEET TO ANY STREET RIGHT-OF-WAY.WHERE A PREMISES FRONTS ON MORE THAN ONE PUBLIC RIGHT-OF-WAY, AT LEAST ONE SIGN SHALL BE PERMITTED ON EACH SUCH STREET FRONTAGE AND ADDITIONAL SIGNS SHALL BE ALLOWED IN ACCORDANCE WITH THE PROVISIONS OF THIS SUBSECTION. FOR PURPOSES OF MEASUREMENT OF FRONTAGE, EACH SEPARATE STREET FRONTAGE SHALL BE TREATED INDEPENDENTLY OF ANOTHER. THE DISTANCE BETWEEN SIGNS OF 300 FEET, AS CALLED FOR IN PARAGRAPH B4 ABOVE, SHALL APPLY ONLY TO FREESTANDING SIGNS ON THE SAME STREET FRONTAGE, AND NOT TO SIGNS WHICH ARE LOCATED ALONG DIFFERENT STREET FRONTAGES.<ul style="list-style-type: none">- NUMBER OF FREESTANDING SIGNS PERMITTED: 2	<p>NUMBER OF SIGNS = 2</p> <p>SIGN AREA: PERKINS: SOUTH FACADE = ±80 SF EAST FACADE = ±80 SF</p> <p>SIGN PROJECTION: PERKINS: SOUTH FACADE = ±8 INCHES EAST FACADE = ±8 INCHES</p> <p>TOTAL NUMBER OF SIGNS = 2 (COMPLIES) LANNING BLVD = 1 (EX. PERKINS) PRINCETON-HIGHTSTOWN RD = 1 (EX. POPEYES)</p> <p>SIGN AREA: LANNING BLVD (EX. PERKINS): = ±82 SF PRINCETON-HIGHTSTOWN RD (POPEYES): = ±80 SF</p> <p>SIGN HEIGHT: LANNING BLVD (EX. PERKINS) = ±8.4 FT PRINCETON-HIGHTSTOWN RD (EX. POPEYES) = ±24.7 FT</p> <p>SIGN SETBACK: LANNING BLVD (EX. PERKINS) = ±16.0 FT PRINCETON-HIGHTSTOWN RD (EX. POPEYES) = ±30.77 FT</p>	<p>NUMBER OF SIGNS = 2 (COMPLIES)</p> <p>SIGN AREA: AUTOZONE: SOUTH FACADE = 97.5 SF (COMPLIES) EAST FACADE = 100 SF (COMPLIES)</p> <p>SIGN PROJECTION: AUTOZONE: SOUTH FACADE = 5 INCHES (COMPLIES) EAST FACADE = 5 INCHES (COMPLIES)</p> <p>TOTAL NUMBER OF SIGNS = 2 (COMPLIES) LANNING BLVD = 1 (AUTOZONE) PRINCETON-HIGHTSTOWN RD = 1 (POPEYES) (EX.)</p> <p>SIGN AREA: LANNING BLVD (AUTOZONE) = 68.25 SF (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±80 SF</p> <p>SIGN HEIGHT: LANNING BLVD (AUTOZONE) = 15 FT (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±24.7 FT</p> <p>SIGN SETBACK: LANNING BLVD (AUTOZONE) = 12 FT (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±30.77 FT</p>

NorthStarDesign LLC
CONSULTING ENGINEERS

PHONE: 908-968-3499 FAX: 908-968-3291
36 ROUTE 31, BLDG. 5, SUITE 104
WWW.NORTHSTARDESIGNLLC.COM
NJ CERTIFICATE OF AUTHORIZATION NO. 246389998



REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

PRELIMINARY AND FINAL
SITE PLAN
AUTOZONE (STORE #36444)
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9
40-50 PRINCETON-HIGHTSTOWN ROAD
TOWNSHIP OF EAST WINDSOR
MERCER COUNTY, NEW JERSEY

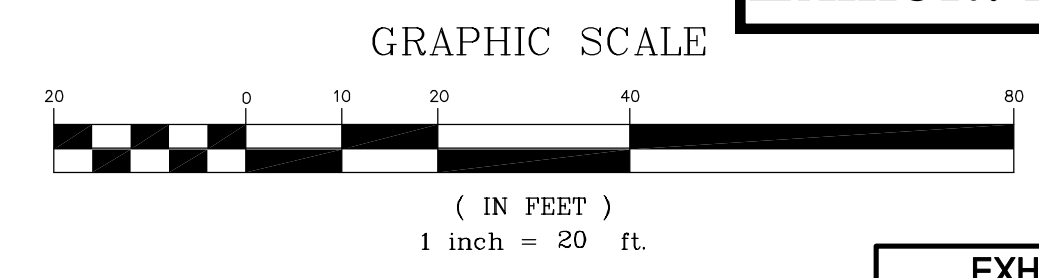
T. F. PUGSLEY, Jr.
PROFESSIONAL ENGINEER
NJ LICENSE NO. 43527

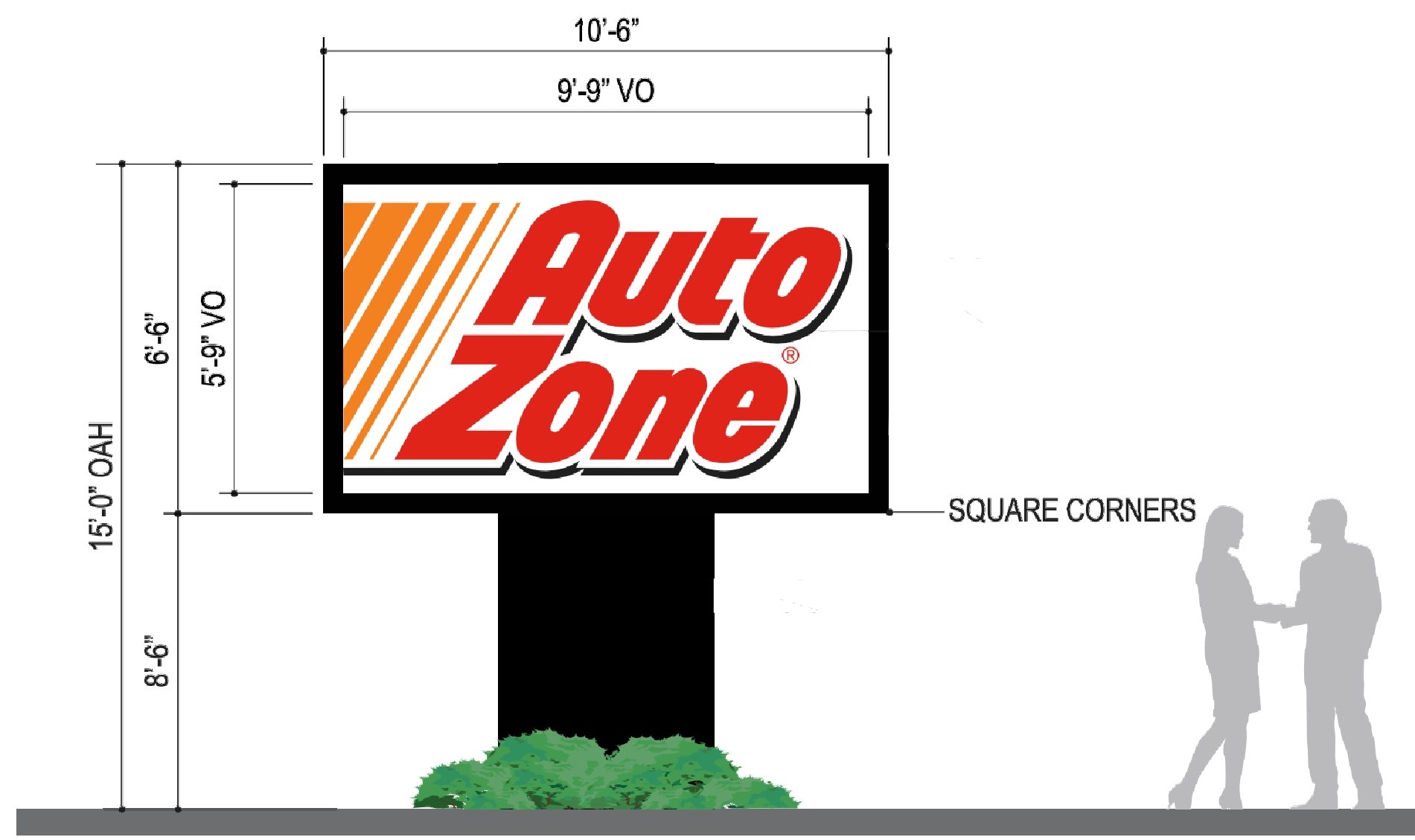
SHEET TITLE:

SITE PLAN
SHEET NO.: **C1.1**
OF 13

DESIGN DATE: 7/20/22
DESIGNED BY: NJH
CHECKED BY: TFP
DRAWING SCALE: As Shown
PROJECT #: 21-020
CAD FILE: 21-020SS01
ZONING DISTRICT: H-C ZONE

EXHIBIT PREPARED BY: NJH DATED: 1/24/23	REVISION 1 11/10/22
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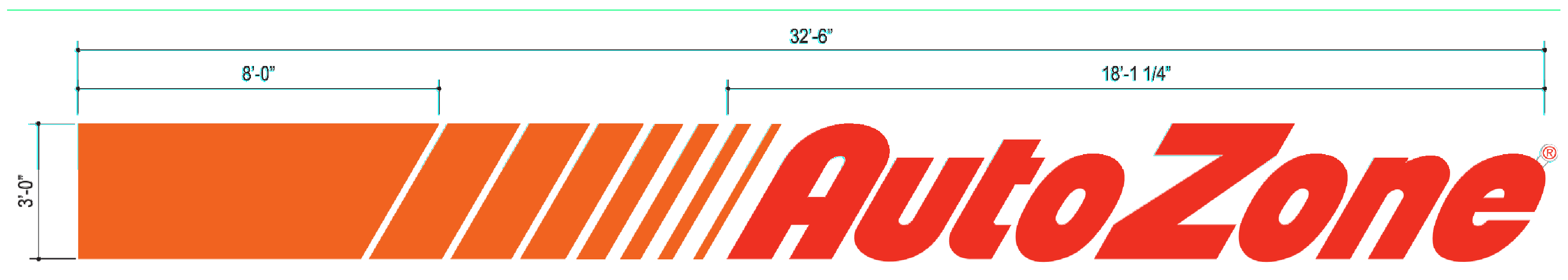




NOTE: SIGN IS INTERNALLY ILLUMINATED.
SIGN AREA = ±68.25 SF PER SIDE

1

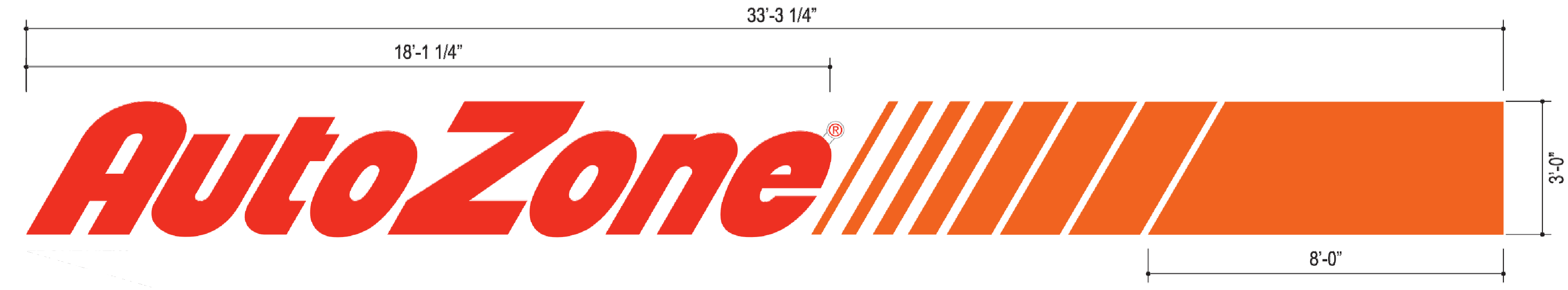
FREESTANDING SIGN DETAIL (SIGN A)
NTS



NOTE: SIGN IS INTERNALLY ILLUMINATED
SIGN AREA = ±97.5 SF

2

AUTOZONE WALL SIGN - SOUTH FACADE - (SIGN C)
NTS



NOTE: SIGN IS INTERNALLY ILLUMINATED
SIGN AREA = ±100 SF

3

AUTOZONE WALL SIGN - EAST FACADE - (SIGN B)
NTS

4

5

**PRELIMINARY AND FINAL
SITE PLAN**
AUTOZONE (STORE #3644)
BLOCK 6.07, LOT 14.02 TAX MAP SHEET #9
40-50 PRINCETON-HIGHTSTOWN ROAD
TOWNSHIP OF EAST WINDSOR
MERCER COUNTY, NEW JERSEY

T. F. PUGSLEY, Jr.

PROFESSIONAL ENGINEER
NJ LICENSE No.43527

SHEET TITLE:
DETAIL SHEET

SHEET NO.:
C1.9
11 OF 13

DESIGN DATE: 7/20/22
DESIGNED BY: NJH
CHECKED BY: TFP
DRAWING SCALE: As Shown
PROJECT #: 21-020
CAD FILE: 21-020SD01
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22

6

7

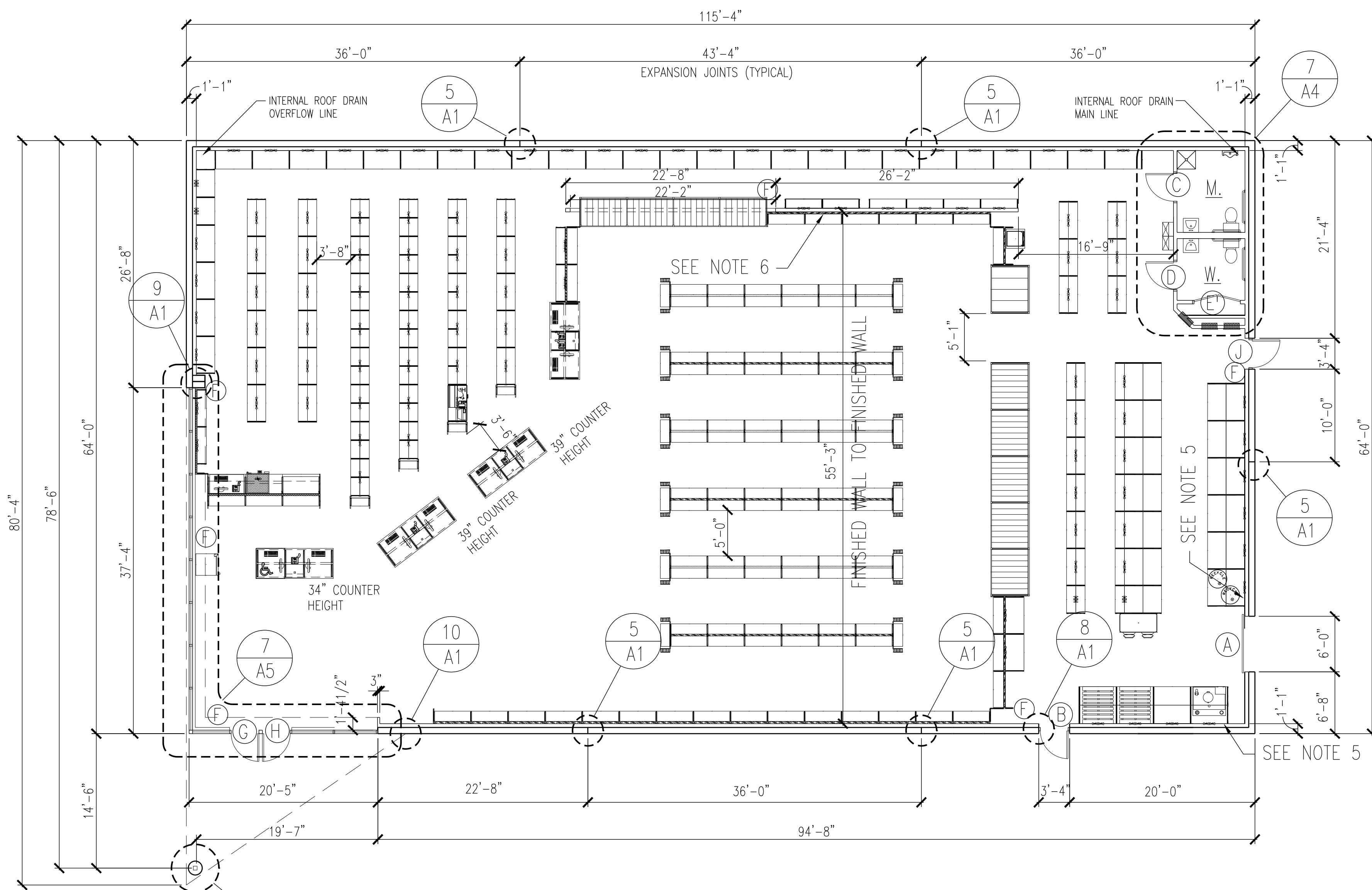
8

9

10

Exhibit: A4

REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM



NOTE: (F) = NEW DRY CHEMICAL FIRE EXTINGUISHER. GENERAL CONTRACTOR TO INSTALL ONE KIDDE 10 lb #46620420 AT BATTERY CHARGING AND KIDDE 5 lb #FC-340M-VB AT ALL OTHER LOCATIONS. INSTALL EITHER ON WALL SURFACE, FIXTURE UPRIGHT OR ALUMINUM MULLION. MOUNTING HEIGHT = 3'-6" ABOVE FINISHED FLOOR TO TOP OF EXTINGUISHER.

1/8" = 1'-0"

FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" ABOVE FINISHED FLOOR. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" x 4'-0" x 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE METAL STUDS WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. PROVIDE "J" MOLD WHERE PLYWOOD AND GYPSUM BOARD MEET. SEE INTERIOR ELEVATIONS SEE 3/A4 DETAIL.
- INSTALL TWO 4' x 8' SHEETS OF BLACK FRP VERTICALLY BEHIND BATTERY RACK. SEE SECTION 09986 OF THE SPECIFICATIONS AND INTERIOR ELEVATIONS ON SHEET A-4.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

1/8" = 1'-0"

FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.
	SEALED CONCRETE	VINYL TILE	VINYL	QUARRY TILE	
			GYPSUM BOARD	FIBER REINFORCED PANELS	METAL DECK
SALES AREA	●	●	●	●	
REST ROOMS	●	●	●	●	

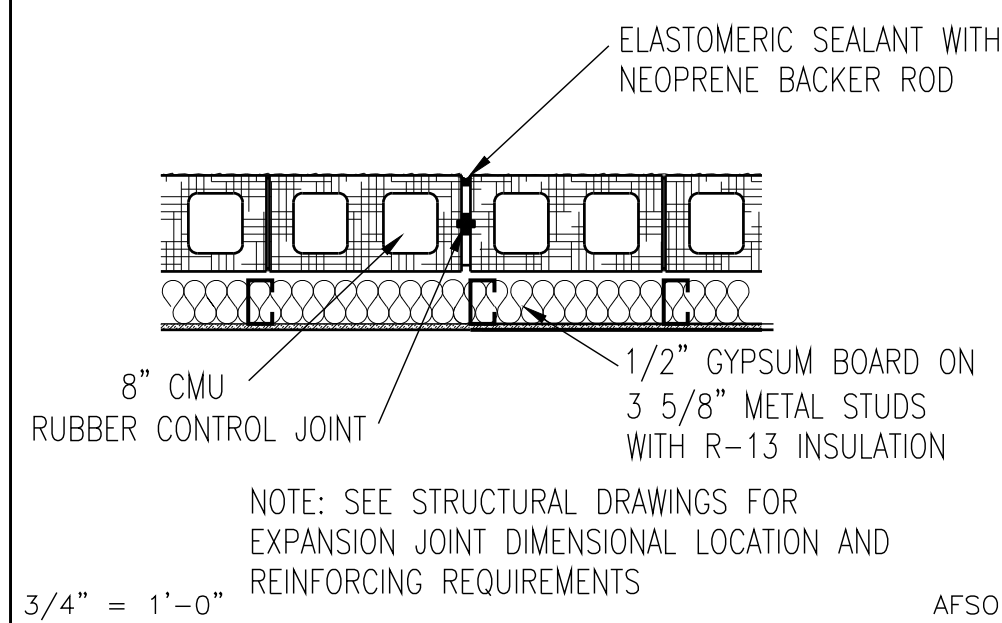
3/16" = 1'-0"

ROOM FINISH SCHEDULE

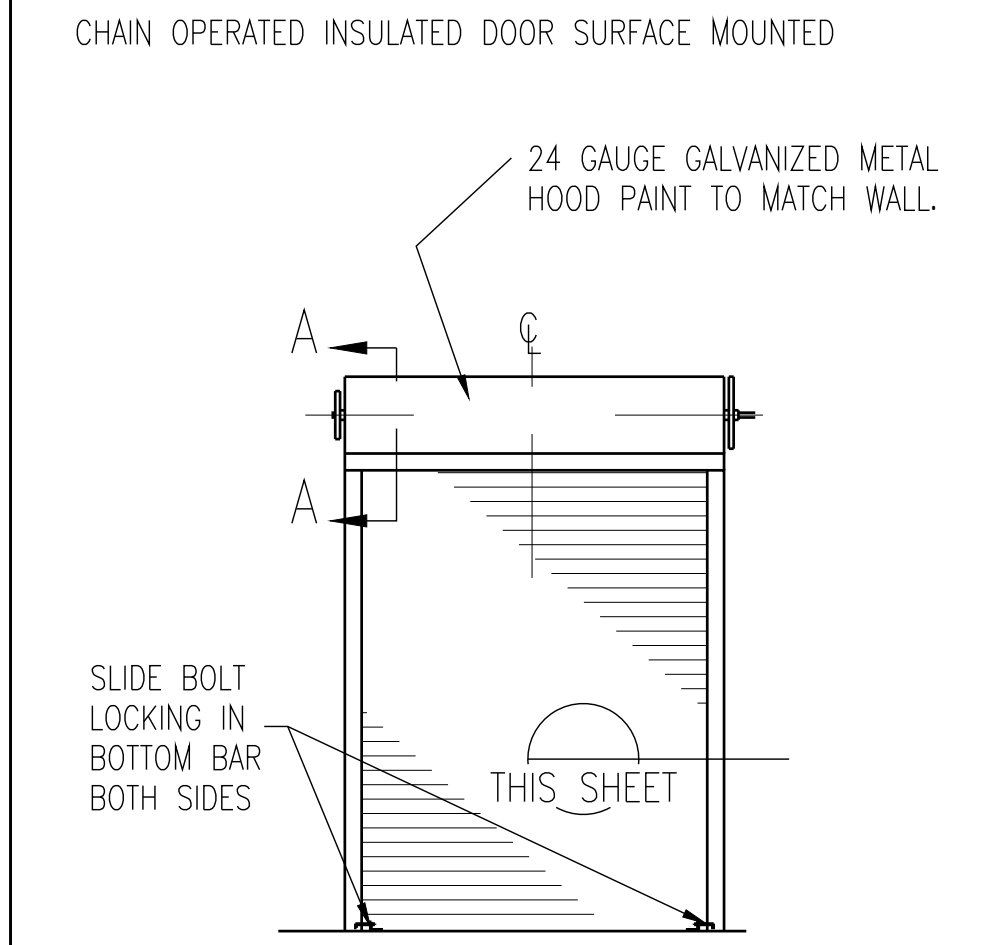
MK	SIZE	TYPE	FRAME	JAMB DETAIL	HEAD DETAIL	ADA / EXIT HARDWARE
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	6:7&8/A1	6&7/A1	
B	3'-0" x 7'-0"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE WILL HAVE AN INTEGRAL SOUNDER
C	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS
D	3'-0" x 6'-8" x 1-3/4"	SOLID CORE WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS
E	2'-6" x 6'-8" x 1-3/4"	SOLID CORE WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE
K	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE

3/32" = 1'-0"

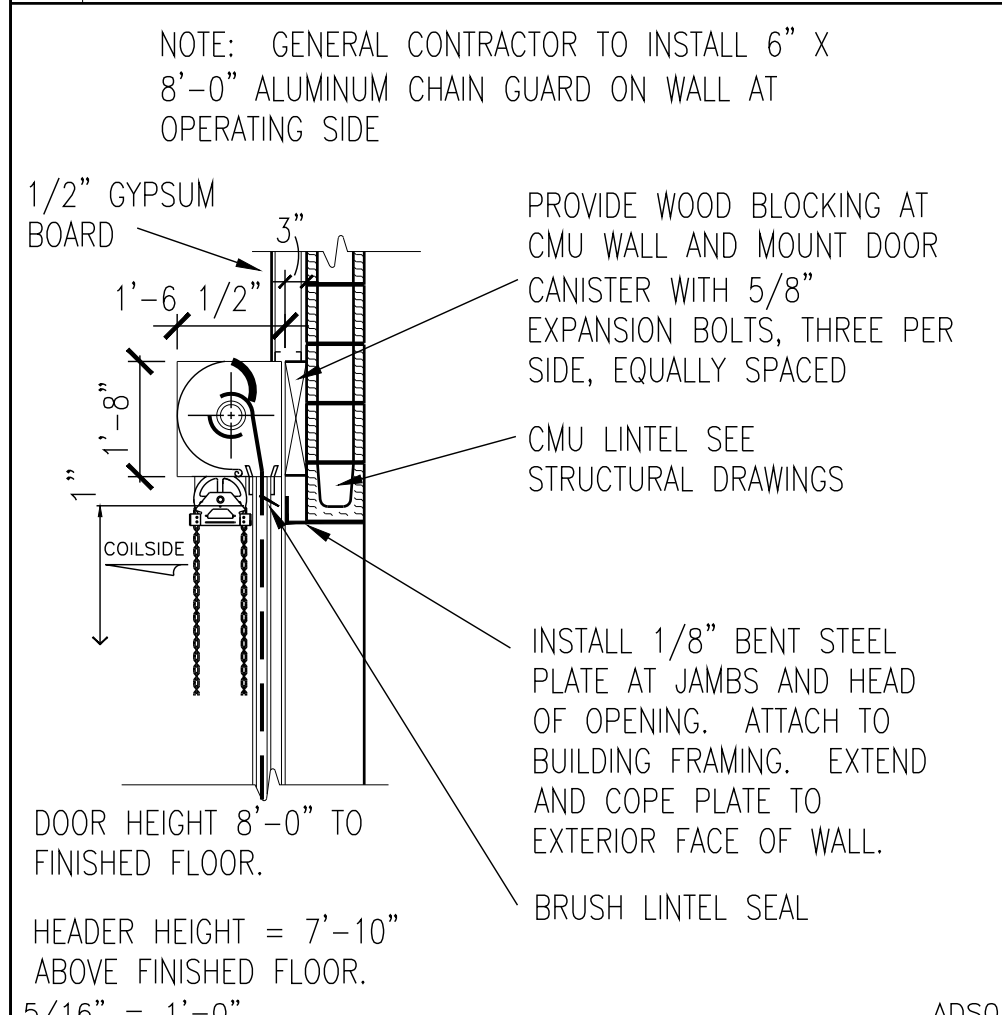
DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES



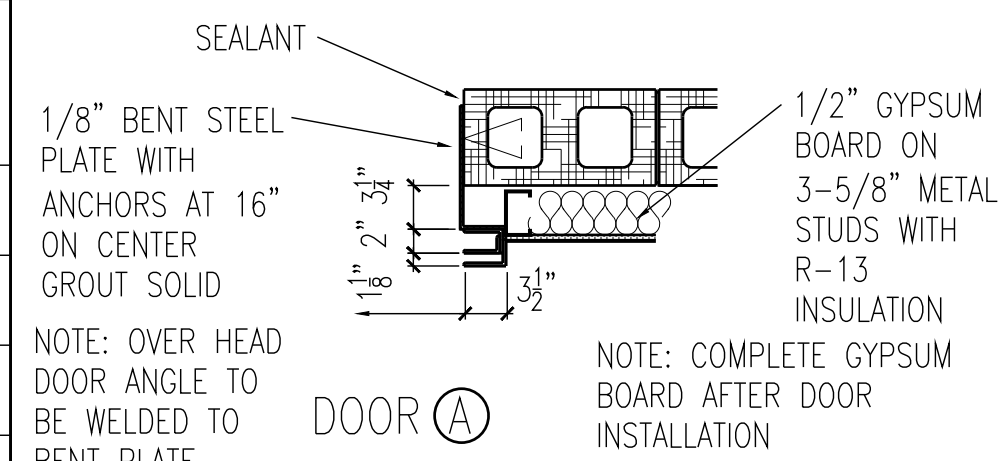
5 EXPANSION JOINT DETAIL



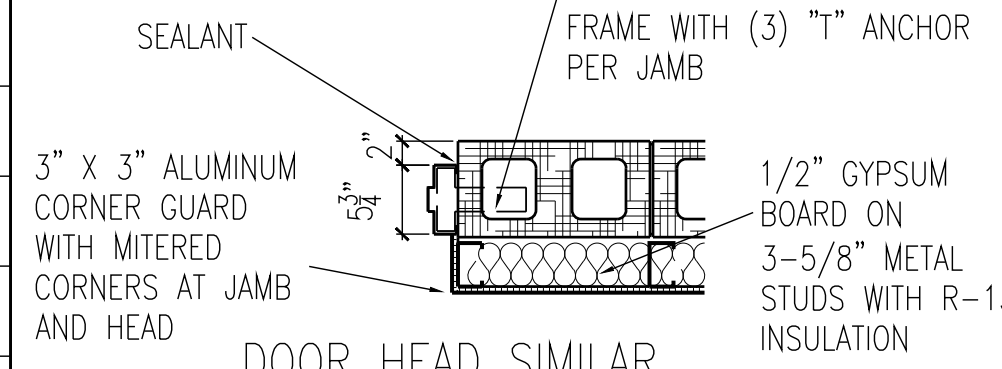
6 OVERHEAD DOOR ELEVATION



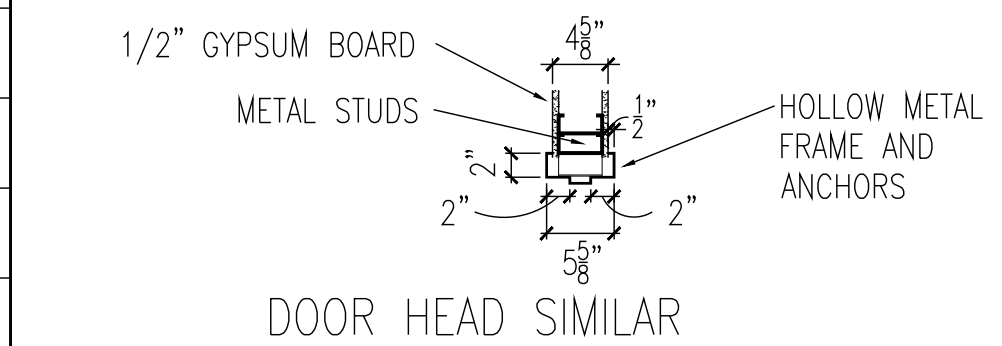
7 OVERHEAD DELIVERY DOOR



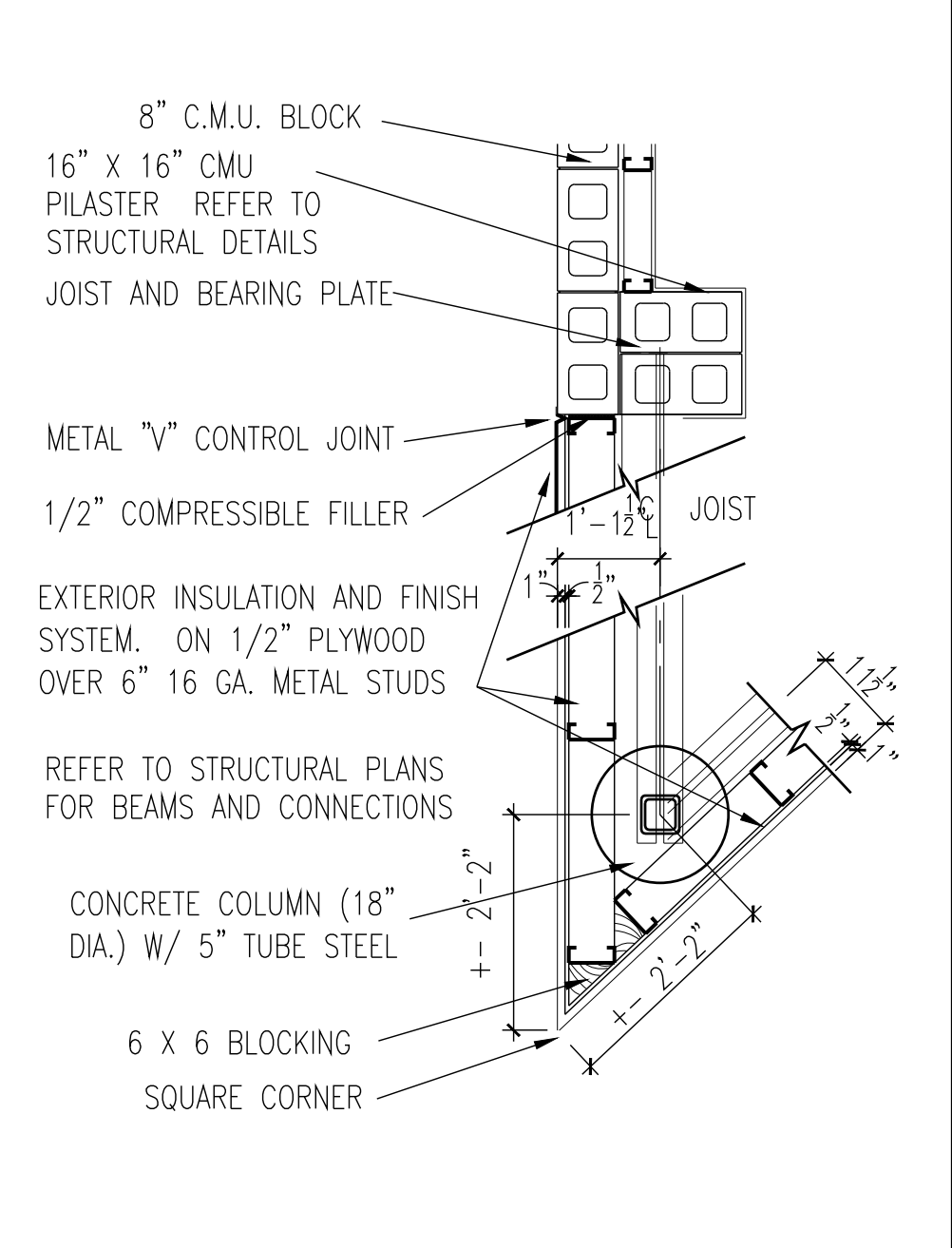
DOOR A



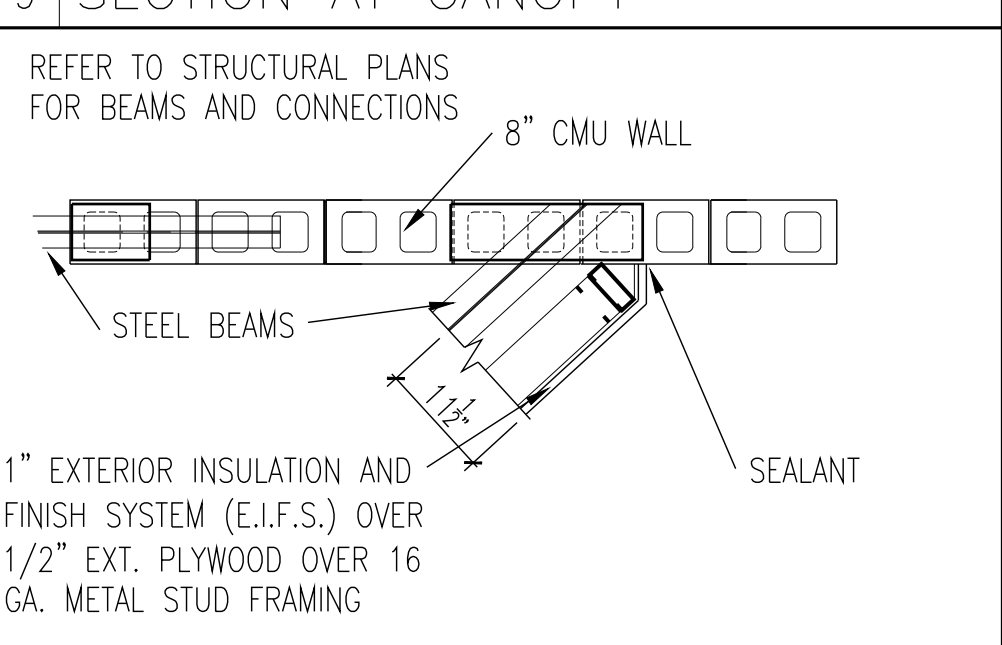
DOOR HEAD SIMILAR



DOOR HEAD SIMILAR



9 SECTION AT CANOPY



10 SECTION AT CANOPY

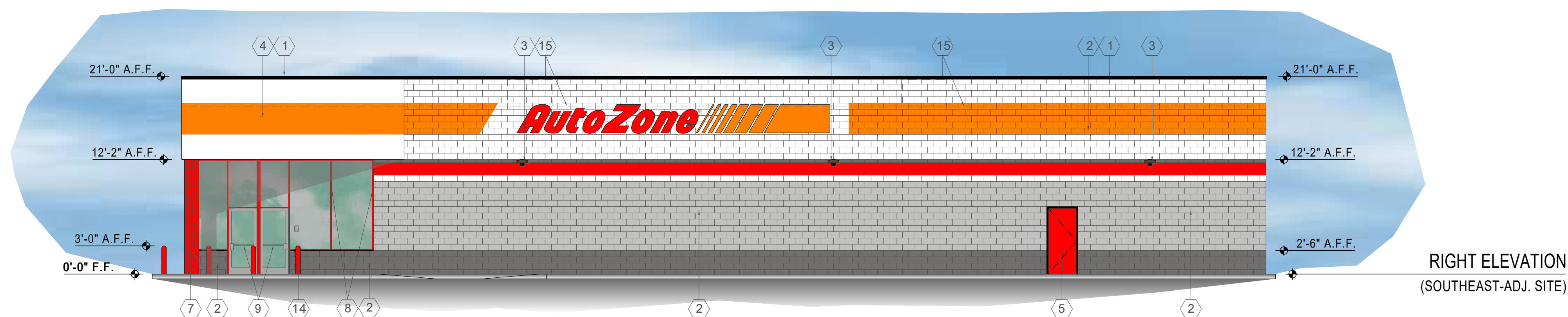
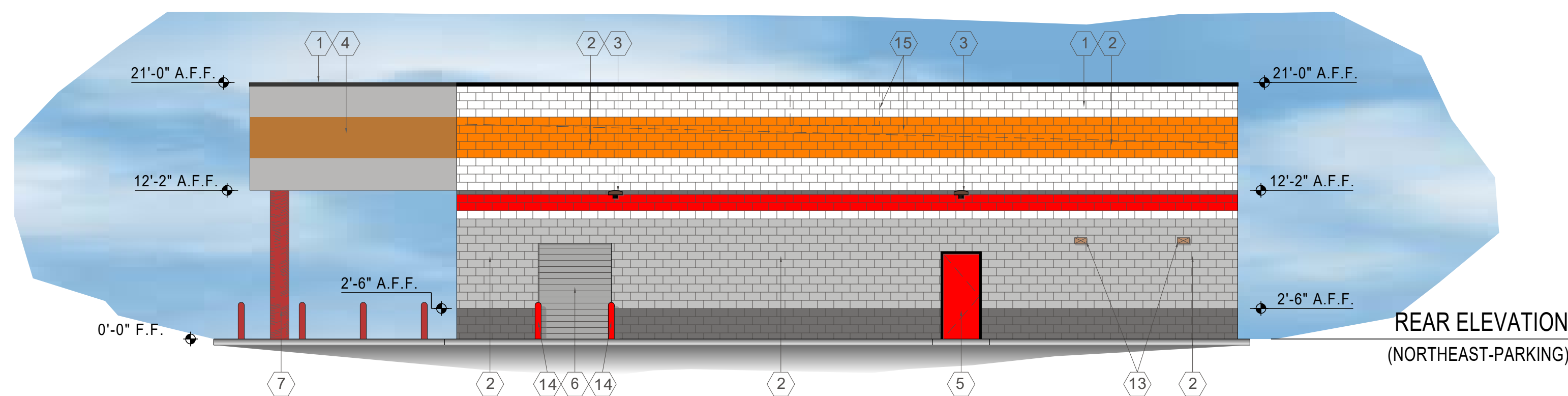
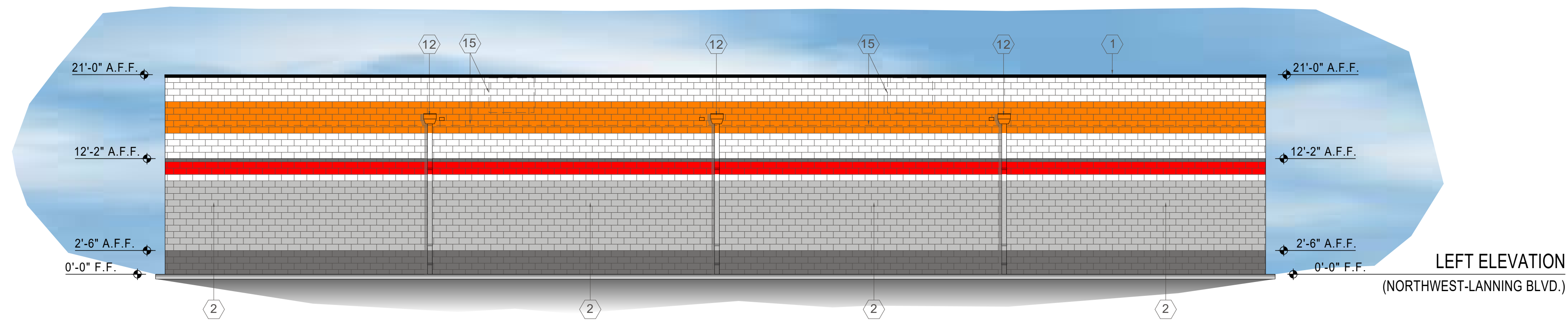
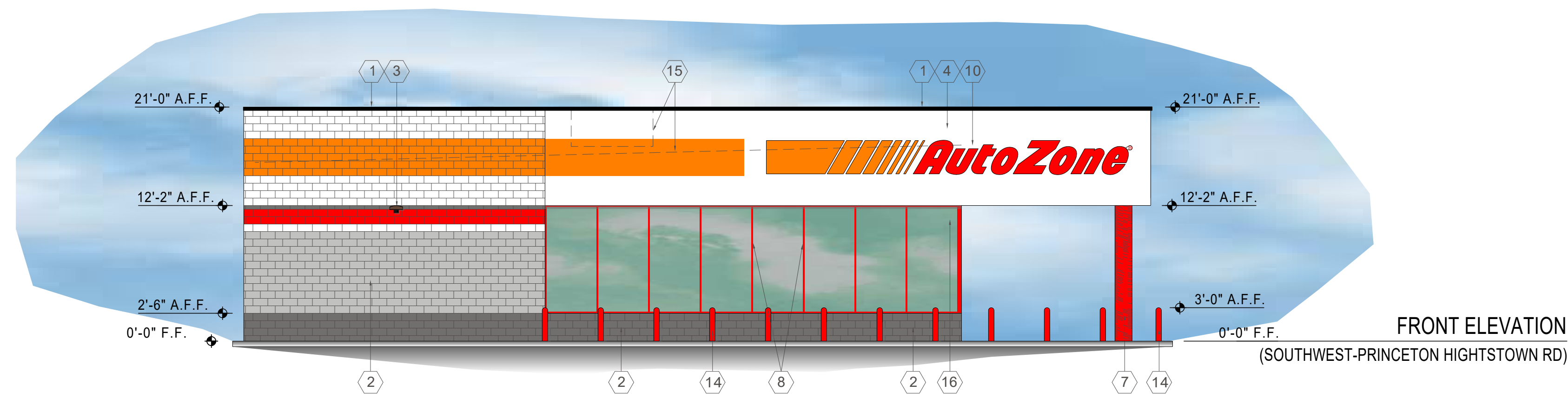
REVISIONS	1	2	3	4	5	6

AutoZone Store No. 3644
50 PRINCETON-HIGHSTOWN RD
TWP EAST WINDSOR NJ 08520
FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS

Architect: Lew Ellis
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-6500 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
Dodge Data & Analytics. Tel. 1-844-326-3826 ext 9429
Cindy.searcy@construction.com

05/02/22
7N2-L
A-1

Exhibit: A5



- 1 TWO PIECE COMPRESSION TRIM COLOR: BLACK
- 2 SMOOTH FACE CONCRETE MASONRY UNITS
- 3 WALL MOUNTED LIGHT FIXTURE COLOR; BRONZE
- 4 EIFS FINISH OVER STOREFRONT
- 5 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 6 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 7 CORRUGATED COLUMN PAINT RED
- 8 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 9 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 10 FRONT WALL SIGN - 36" CHANNEL LSTRP
- 11 RIGHT WALL SIGN - 36" CHANNEL RSTRP
- 12 SCUPPERS AND DOWNSPOUTS. PAINT TO MATCH BACK GROUND ADJACENT 4"H. X 6"W. OVERFLOW SCUPPER.
- 13 TOILET WALL VENTS PAINTED
- 14 PIPE GUARD WITH RED SLEEVE
- 15 ROOF LINE / HVAC UNITS - FULL SCREENED BY PARAPET
- 16 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS

2 ELEVATION KEY NOTES

REVISIONS	
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

AutoZone Store No. 3644
PRINCETON-HIGHTSTOWN RD

TWP OF EAST WINDSORNJ 08520
COLOR EXTERIOR ELEVATIONS & NOTES

Architect: Lew Ellis
123 South Front Street
Memphis, Tennessee 38103
TEL: 901-495-8600 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
McGrav - Hill Construction Tel. 615-884-1017
www.construction.com

05/02/22

7N2-L

Exhibit: A6

CE1